

REQUEST FOR COUNCIL ACTION

SUBJECT: The Cottages at the Oaks of Jordan Hills Villages Future Land Use Map Amendment and Preliminary Development Plan.

SUMMARY: The Cottages at the Oaks of Jordan Hills Villages Future Land Use Map Amendment; 6481 West 7800 South for 11.70 acres from Community Commercial to High Density Residential; Preliminary Development Plan for 114 lots on 11.70 acres; PC Zone; Urban Chase Property Management -Greg Hughes/Mark Garza (applicants); [Larry Gardner 11498,11499,11650; parcels 20-34-100-008, 20-34,100,018]

FISCAL / AND OR ASSET IMPACT: None.

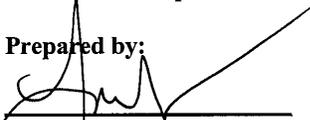
STAFF RECOMMENDATION: Based on the analysis and findings contained in the Staff Report, Staff recommends that the City Council amend the Future Land Use map from Community Commercial to High Density Residential for property located at 2735 West 7800 South and approve the Preliminary Development Plan for 114 lots on 11.70 acres for property located at 2735 West 7800.

PLANNING COMMISSION RECOMMENDATION: On December 6, 2016, the Planning Commission in a 5-2 vote, recommended that the City Council deny the Future Land Use Map amendment from Community Commercial to High Density Residential on 11.70 acres and in a 5-2 vote recommended that the City Council not approve the Preliminary Development Plan for The Cottages at the Oaks of Jordan Hills Villages General located at 6481 West 7800 South.

MOTION RECOMMENDED: "Based on the information and findings set forth in this staff report and upon the evidence and explanations received today, I move that the City Council amend the Future Land Use Map from Community Commercial to High Density Residential for property located at 2735 West 7800 South and approve the Preliminary Development Plan for The Cottages at the Oaks of Jordan Hills Villages General located at 6481 West 7800 South subject to the conditions of approval contained in this staff report.

Roll Call vote required

Prepared by:


Larry Gardner, Senior Planner

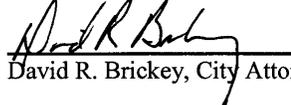
Reviewed by/Concur with:


David Oka, Development Director

Recommended by:


Mark Pafesh, City Manager

Reviewed as to legal form:


David R. Brickey, City Attorney

I. BACKGROUND:

The subject property was part of the expired Jordan Hills Villages master Planned Community. The site was originally part of the Central Village which was primarily a commercial and school site. In the spring of 2016 forty acres of the fifty acre school site (south of Serengeti Springs apartments) was rezoned and approved for a single family development because the School District did not feel the site was adequate for a High School site. The property under consideration has been on the Land Use Map for the last 16 years as a Community Commercial site, but has not been seen as a viable site for 14 acres of commercial by commercial project developers. The applicant is proposing to leave 2.98 acres of commercial on the corner of Bacchus Highway and 7800 South feeling that it is much more realistic at developing and is asking to change the Future Land Use Map from Community Commercial to High Density Residential on 11.70 Acres in preparation for construction of single family dwellings.

II. GENERAL INFORMATION & ANALYSIS

Urban Chase Properties is requesting approval of The Cottages at the Oaks of Jordan Hills Villages Preliminary Development Plan, and General Plan Land Use Map Amendment.

The Cottages at the Oaks of Jordan Hills Villages consists of 114 single family lots on 11.70 acres for a proposed residential density of 9.74 dwelling units per acre. There will be 2.89 acres of commercial property left on the corner of 7800 South and Bacchus Highway. The subject site is designated as Community Commercial on the Future Land Use Map and is zoned Planned Community (PC). As stated the applicant is requesting an amendment to the Future Land Use Map to High Density Residential which will correspond to uses allowed in the PC zone. The density range of High Density residential is 5.1 to 10.0 units per acre. The PC zone does not have an established residential density number. The density is set by the City Council’s approval of the preliminary development plan after receiving a recommendation from the Planning Commission. The ordinance provides guidance and states:

15-3-8 (B) “The city council shall approve, deny or modify the preliminary development plan after receiving recommendation from staff and the planning commission. During the approval of the preliminary development plan, the city council will determine the residential density for the project based on the density ranges indicated in the future land use map, the zoning ordinance, and the amount and type of amenities/improvements being proposed by the applicant/developer in the preliminary development plan. For all residential developments, the city council shall adopt by ordinance the overall maximum density as approved.”

If approved the residential density of the project will be within the guidelines of the General Plan.

The subject property’s surrounding zoning and land uses are:

	Future Land Use	Zoning	Existing Land Use
North	Community Commercial	PC	Vacant
South	High Density Residential	PC	Serengeti Springs Apartments

East	High Density Residential	PC	Serengeti Springs Apartments
West	Parks and Open Land	PC	City Water Tank

It is proposed that the project will be developed in three phases with phase one and two residential and the final phase the commercial development. However, the commercial phase could come earlier if a potential commercial developer is interested in the property.

III. Section 13-7C-6: Amendments to the Land Use Map

Prior to making a positive recommendation to the City Council for a General Plan Future Land Use Map amendment, the Planning Commission shall make the following findings:

Finding A: *The proposed amendment conforms to and is consistent with the adopted goals, objectives, and policies set forth in the City General Plan.*

Discussion: The applicant is proposing to amend the Future Land Use Map from Community Commercial to High Density Residential. Staff could not find any language in the General Plan that discourages rezoning commercial property to residential land use. There are references to the preferred locations of commercial areas. The General Plan states:

GOAL 2. PROVIDE ADEQUATE AND ACCESSIBLE COMMERCIAL AND BUSINESS SERVICES TO ALL CITY RESIDENTS.

Policy 1. Continue to implement the policy of limiting commercial centers to "nodes" located at the intersections of major arterial streets or, in the case of neighborhood commercial centers, at designated locations within large planned residential communities.

The applicant is proposing to reduce the size of the commercial piece from approximately 14.5 acres to 2.98 acres. The commercial land use will still be on the corner or "node" and is a size the applicant feels that can be marketed more successfully.

LAND USE. GOAL 3. Promote land use policies and standards that are economically feasible and orderly, which also protect desirable existing land uses and minimize impacts to existing neighborhoods.

Implementation Measures; 1. The type, location, timing, and intensity of growth shall be managed. Premature and scattered development shall be discouraged.

The majority of the properties in the Jordan Hills Villages master plan have been developed with the exception of the subject parcel and another commercial parcel on 8200 South 6400 West.

2. Growth shall be limited to those areas of the city that can provide for adequate levels of service (i.e. water, sewer, fire and police protection, schooling, and transportation).

Water, sewer is adequate in the vicinity and easily accessible. The site is accessible from 7800 South and will need to meet all public safety requirements when developed.

4. Infill development shall be compatible with surrounding land uses and development.

The subject property is bordered on two sides by Serengeti Springs apartments. There is single family residential across Bacchus Highway and 7800 South, which are arterial streets. The uses as small lot single family and a small commercial development will be compatible at this location. If a housing project is approved by code a 20 foot landscaped buffer and wall would be required between the commercial and residential.

RESIDENTIAL LAND USE. Goal 4; Policy 2. Single-family housing should be the primary residential development type in the city. Implementation Measures; 2. Require the density of residential infill development to be similar to existing, adjacent, residential development.

The applicant's concept plan shows intent to construct single family housing on the 11.6 acres of property. The single family residential properties adjacent and near this property are lower in density while the apartments are higher in density at 15.4 units per acre. The High-Density Residential Land Use designation allows a density range of 5.1 to 10.0 units per acre. The preliminary plan provided illustrates the proposed roadway design and lot configurations.

Finding: The proposed amendment conforms to and is consistent with the adopted goals, objectives, and policies set forth in the City General Plan.

Finding B: *The development pattern contained on the land use plan inadequately provides the appropriate optional sites for the use and/or change proposed in the amendment.*

Discussion: There currently are not any available High Density Residential sites available for development. Of the vacant land, none of it is for sale at this point or is under contract or is in the development process. What the applicant is proposing is consistent with what is done at other arterial intersections.

Finding: The development pattern contained on the land use plan inadequately provides the appropriate optional sites for the use and/or change proposed in the amendment.

Finding C: *The proposed amendment will be compatible with other land uses, existing or planned, in the vicinity.*

Discussion: The proposed amendment will result in single family residential that will be higher in density than other single family in the area. However, the uses

are the same and the new development is several hundred feet from existing single family, so compatibility should not be an issue. The new use will be compatible with the multi-family and the proposed commercial uses surrounding the property.

Finding: The proposed amendment will be compatible with other land uses, existing or planned, in the vicinity.

Finding D: *The proposed amendment constitutes an overall improvement to the adopted general land use map and is not solely for the good or benefit of a particular person or entity.*

Discussion: The change in the Land use Map will not be to the benefit of the owners or the applicant. The proposed changes in the Land Use Map could be considered a “down zone” so to speak, and generally lower the sales value of property. The ideal situation would be to construct a commercial development, but unfortunately the market to this point has determined this site not to be a desirable location for 14 acres of commercial. The applicant is hoping that 2.6 acres will be more marketable. The change in land use will be an improvement and pragmatic because the site has been available for development for the last 16 years but has proven not to be the correct use at this location.

Finding: The proposed amendment constitutes an overall improvement to the adopted general land use map and is not solely for the good or benefit of a particular person or entity.

Finding E: *The proposed amendment will not adversely impact the neighborhood and community as a whole by significantly altering acceptable land use patterns and requiring larger and more expensive public infrastructure improvements, including, but not limited to, roads, water, wastewater and public safety facilities, than would otherwise be needed without the proposed change.*

Discussion: The proposed amendment will result in a less intense use of property than what could occur if the property is developed as a commercial retail site. The proposed residential use is compatible with the adjacent residential. The infrastructure in the area is adequate for the proposed development including roads, water, wastewater and public safety facilities. The development will connect directly to 7800 South if constructed, but will not connect to Bacchus Highway.

Finding: The proposed amendment will not adversely impact the neighborhood and community as a whole by significantly altering acceptable land use patterns and requiring larger and more expensive public infrastructure improvements, including, but not limited to, roads, water, wastewater and public safety facilities, than would otherwise be needed without the proposed change.

Finding F: *The proposed amendment is consistent with other adopted plans, codes and ordinances.*

Discussion: The amendment was reviewed for consistency against the City's General Plan, the zoning ordinance and adopted engineering standards.

Finding: The proposed amendment is consistent with other adopted plans, codes and ordinances.

IV. FINDINGS OF FACT PRELIMINARY DEVELOPMENT PLAN

There are no specific findings of fact for preliminary development plans; however, the 2009 City Code, Section 13-5J-10 does provide guidance on the steps required and on what is to be included in a development plan for approval. There is no mechanism applicable to this plan for density bonuses, so all amenities should be reviewed as part of the approval process outlined in 15-3-8 (B).

Any development located in a P-C zoning district is subject to Section 13-5C-7, which requires that a preliminary and final development plan be submitted with the subdivision. Staff has reviewed the Preliminary Development Plan and found it to be in compliance with ordinance 15-5J-10. Some of the items being installed at The Cottages at the Oaks of Jordan Hills Villages include:

- The common area landscaping will be maintained by a home owners association. The landscaping of the single family homes will be maintained by the individual property owners.
- Entry feature
- Consistent fencing along 7800 South and Bacchus Highway
- Themed architecture
- Enhanced architectural elements.
- Pedestrian Friendly Street designs.

V. CONCLUSION:

The proposed General Plan Land Use Map amendment and Development Plan are consistent with and meet the requirements of the General Plan and Zoning Ordinances. Staff is confident that the applicant can address any necessary engineering, fire and planning concerns by meeting the conditions of approval and addressing all City required redlines corrections and complying with all City standards and requirements at the time of final plat and final development plan submittal.

VI. DEVELOPMENT PLAN CONDITIONS OF APPROVAL

The Cottages at the Oaks of Jordan Hills Villages Development Plan conditions of approval

The Cottages at the Oaks of Jordan Hills Villages Development Plan located at approximately 6841 West 7800 South with a residential density of 9.74 units per acre with 114 single family conditions of approval:

Conditions of Approval:

1. Update the Final Development Plan to address all existing and future planning, engineering, fire, and all other City redline corrections.
2. Before the final plat and development plan are stamped for construction purposes by the West Jordan Engineering Department, all redline comments shall be completely addressed.
3. Before final approval is granted the development shall comply with all adopted City ordinances, requirements and standards.
4. All homes constructed shall comply with the requirements of the P-C zoning district and all of the requirements listed in the Preliminary Development Plan.

VII. ATTACHMENTS:

- A. Zoning Map
- B. Land Use Map
- C. Aerial
- D. Applications
- E. General Plan Narrative
- F. Planning Commission Minutes
- G. Ordinances
- H. Preliminary Development Plan



City Clerk's Office
8000 South Redwood Road
West Jordan, Utah 84088
(801) 569-5115
Fax (801) 565-8978

December 6, 2016

Greg Hughes/Mark Garza
Urban Chase Property Management
950 South 200 West
Salt Lake City, UT 84101

Dear Greg and Mark:

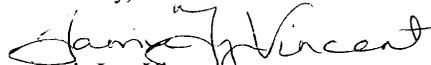
A Public Hearing will be held before the City of West Jordan City Council on Wednesday, **December 21, 2016** at the hour of 6:00 p.m., in the City Council Chambers at 8000 South Redwood Road, Third Floor, West Jordan, Utah, to receive public comment prior to considering a **General Plan Land Use Amendment for 11.71 acres from Community Commercial to High Density Residential and Preliminary Development Plan; P-C Zone for the Cottages at the Oaks of Jordan Hills Villages located at 6841 West 7800 South in a P-C (Planned Community) Zone;** Urban Chase Property Management/Greg Hughes & Mark Garza, applicant.

You are invited to attend the Public Hearing, take part in the discussions and voice any support or concerns you may have. The Council reserves the right to consider other zoning classifications based on information presented at the Public Hearing. If you have any questions, please contact the Planning and Zoning Department at 801-569-5060.

I have enclosed a copy of the **Notice of Public Hearing** that has been sent to property owners in the 300-foot radius of said property.

If you have any questions, please feel free to call me at 801-569-5115.

Sincerely,


Jamie Lyn Vincent
Deputy City Clerk

cc: Planning Department



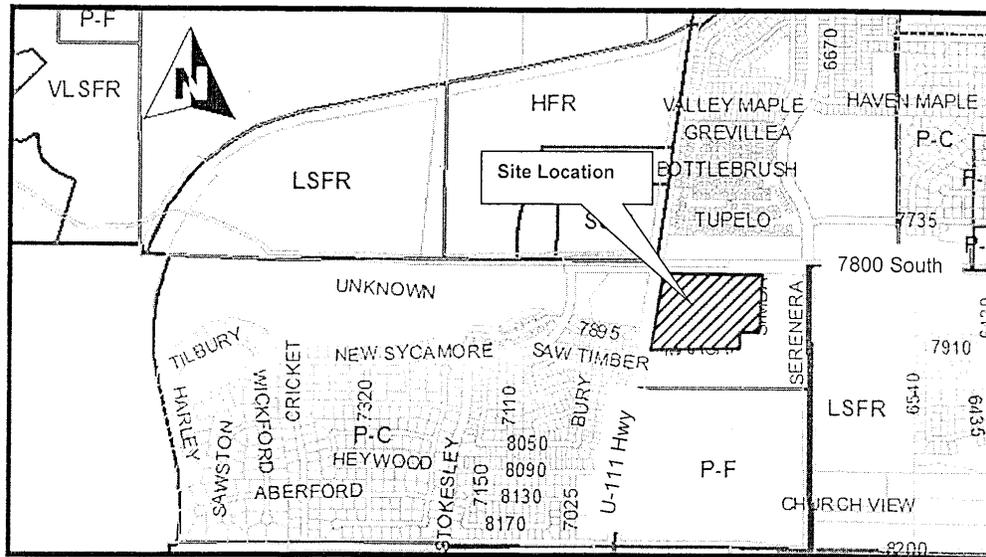
City Clerk's Office
8000 South Redwood Road
West Jordan, Utah 84088
(801) 569-5115
Fax (801) 565-8978

**THE CITY OF WEST JORDAN, UTAH
NOTICE OF PUBLIC HEARING**

A Public Hearing will be held before the City of West Jordan City Council on Wednesday, December 21, 2016 at the hour of 6:00 p.m., in the City Council Chambers at 8000 South Redwood Road, Third Floor, West Jordan, Utah, to receive public comment prior to considering a General Plan Land Use Amendment for 11.71 acres from Community Commercial to High Density Residential and Preliminary Development Plan; P-C Zone for the Cottages at the Oaks of Jordan Hills Villages located at 6841 West 7800 South in a P-C (Planned Community) Zone; Urban Chase Property Management/Greg Hughes & Mark Garza, applicant.

You are invited to attend the Public Hearing and provide information for West Jordan to consider in the process of preparing, adopting, and implementing a general plan or amendment to a general plan concerning impacts that the use of land may have on your entity; and uses of land within West Jordan that your entity is planning or considering that may conflict with the proposed general plan or amendment to the general plan. You may take part in the discussions and voice any support or concerns you may have with the above-mentioned amendment. If you wish to speak on an item, the time will be limited to 3 minutes. If you have any questions, please contact the Planning and Zoning Department at 801-569-5060.

See map on reverse side



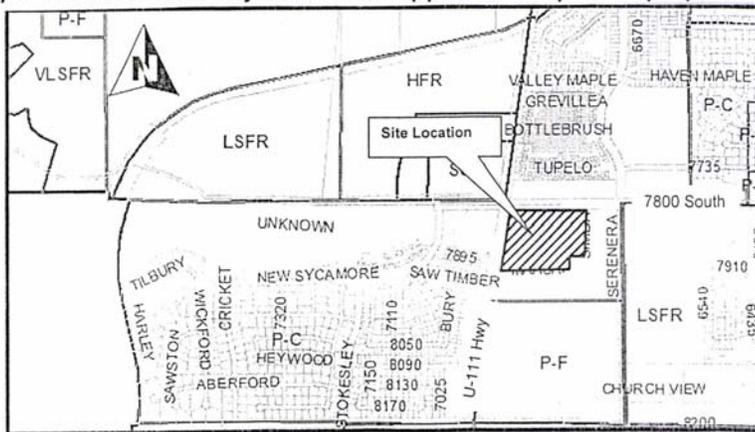
The City of West Jordan, in compliance with the Americans With Disabilities Act provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call the City Recorder at 569-5115, giving at least three working days notice.



**THE CITY OF WEST JORDAN, UTAH
NOTICE OF PUBLIC HEARING**

The City of West Jordan City Council will hold a public hearing on **Wednesday, December 21, 2016, at 6:00 p.m.** at the West Jordan City Hall 8000 South Redwood Road, 3rd Floor, Council Chambers, to receive public comments prior to considering a General Plan Land Use Amendment for 11.71 acres from Community Commercial to High Density Residential and Preliminary Development Plan; P-C Zone for the Cottages at the Oaks of Jordan Hills Villages located at 6841 West 7800 South in a P-C (Planned Community) Zone; Urban Chase Property Management/Greg Hughes & Mark Garza, applicant.

You are invited to attend the Public Hearing and take part in the discussions and voice any support or concerns you may have. If you wish to speak on an item, the time will be limited to 3 minutes. Items may be moved on the agenda or tabled by the City Council. Copies of the agenda packet for this meeting will be available on the City's website www.wjordan.com approximately 4 days prior to the meeting.



The City of West Jordan, in compliance with the Americans With Disabilities Act provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call the City Recorder at 569-5115, giving at least three working

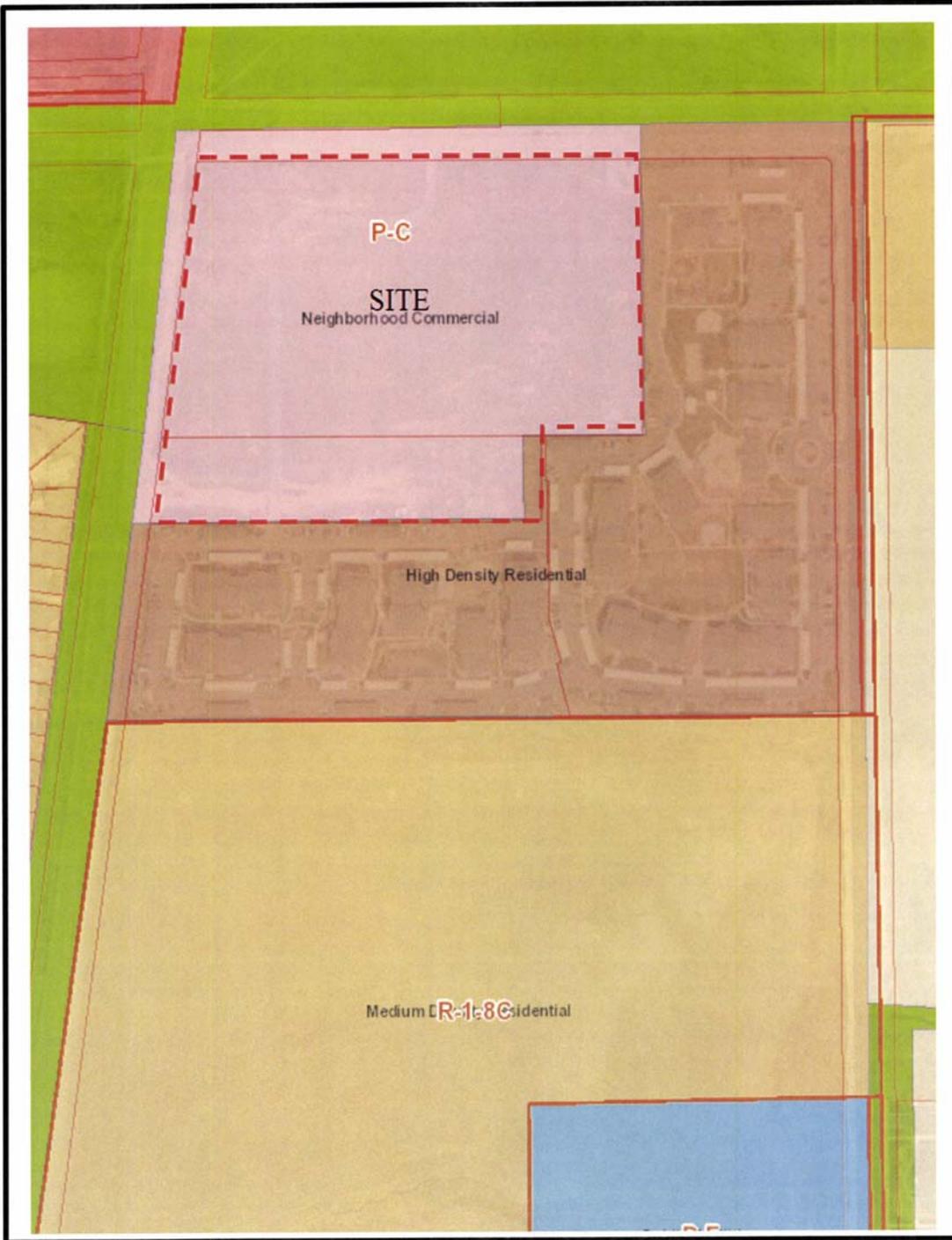


Exhibit A Zoning and Land Use Map

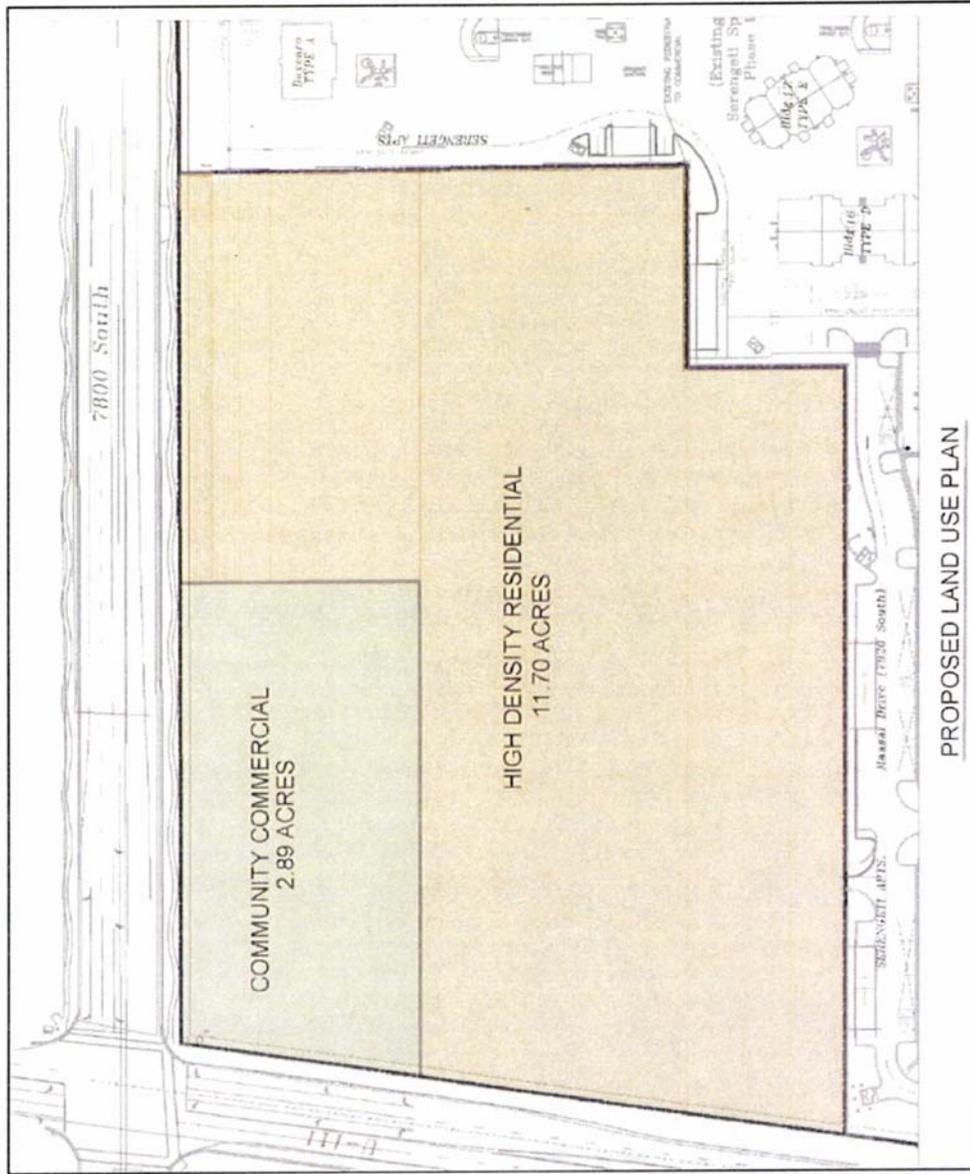


Exhibit B Proposed Land Use Map



Aerial

Exhibit C



**CITY OF WEST JORDAN
COMMUNITY DEVELOPMENT APPLICATION**
8000 South Redwood Road
(801) 569-5180

Sidwell # 2034100008, 2034100018 Acreage: 14.59 Lots: 114 Zoning: PC

Project Location: 6841 West 7800 South, West Jordan Utah

Project Name: The Cottages at the Oaks of Jordan Hills Villages

Type of Application: Subdivision Conditional Use Permit
 Site Plan General Land Use Amendment
 Rezone Agreement
 Condominium Other Development Plan

Applicant: Greg Hughes & Mark Garza Company: Urban Chase Property Management

Address: 950 South 200 West

City: Salt Lake City State: Utah Zip: 84101

Telephone: Office: _____ Cell: (801)558-9966

Email: Mark@tlgcompany.com

Property Owner: Raddon Jordan Hills LLC

Address: 1111 East Draper Parkway

City: Draper State: Utah Zip: 84020

Telephone: Office: _____ Cell: (801)576-1553

Email: ron@raddondevelopment.com

Engineer: Sattar Tabriz Company: Ward Engineering

Address: 231 West 800 South Suite A

City: Salt Lake City State: Utah Zip: 84101

Telephone: Office: _____ Cell: (801)487-8040

Email: stabriz@wardeg.com

Architect: _____ Company: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: Office: _____ Cell: _____

Email: _____

SIGNATURE: [Signature] DATE: 11/9/16

Project #: 11650 Date: 11/9/16
 Received By: ODA KA PLANNING LG ENGINEERING TJ

Barcode 01441

Exhibit D

Please find applicant's narrative on the following pages.

Exhibit E **Narrative**

Request for General Plan Amendment – Reasons and Justifications
The Carriages at West Jordan
Corner of U-111 and 7800 South
October 21, 2016

- 1) Explain how the required findings of the Municipal Code are met.

The findings of the municipal codes per Title 13-7C-6 are met with the following:

- A) The proposed amendment conforms to and is consistent with the adopted goals, objectives and policies set forth in the city general plan;

The current general plan designates the property as community commercial. The proposed amendment is to designate the property as a mix of High Density Residential (5.1 to 10.0 DU/AC) and Community Commercial. High density residential is consistent with the City's current policies and development objectives as it relates to this parcel. We have reviewed the municipal code and the proposed amendment will comply with the standards presented in Titles 1-15 of the municipal code.

- B) The development pattern contained on the land use plan inadequately provides the appropriate optional sites for the use and/or change proposed in the amendment;

The development pattern contained on the existing land use plan is inadequate because it does not take into account the Mountain View Corridor, which has shifted the demand for commercial use from this property to the east near the Mountain View Corridor. For example, Smith's Market Place has just been constructed at the intersection of 7800 South and 5600 West. As a result, a reduction in the commercial use is proposed, and the remainder of the property will be developed as residential.

- C) The proposed amendment will be compatible with other land uses, existing or planned, in the vicinity

The proposed amendment is compatible with the land uses in the vicinity of this property. The adjoining property to the south and east is existing High Density Multi-Family Residential (Serengeti Apartments). The property to the northwest has been recently rezoned as a PC zone with a majority mix of residential and reduced commercial uses (Oquirrh West). The property to the north is medium density residential, which is a compatible adjacent use.

- D) The proposed amendment constitutes an overall improvement to the adopted general land use map and is not solely for the good or benefit of a particular person or entity.

The proposed amendment is an overall improvement to the general land use map. It is congruent with the surrounding residential land uses, while still providing a measure of commercial space at the intersection of U-111 and 7800 South.

RECEIVED BY

OCT 26 2016

O.D.A.

- E) The proposed amendment will not adversely impact the neighborhood and community as a whole by significantly altering acceptable land use patterns and requiring larger and more expensive public infrastructure, including, but not limited to, roads, water, wastewater and public safety facilities, than would otherwise be needed without the proposed change;

The proposed land use is consistent with adjacent developments which are a mix of multi-family and single family residential land uses, and does not adversely impact the neighborhood and community as a whole by significantly altering land use patterns. The property has adjacent arterial and collector roads to allow for traffic flow to the property.

High density residential development typically uses a higher ratio of water than does typical retail commercial. Therefore, we expect a slightly higher water demand for the proposed land use. We understand that calculated water demands will be required as part of the design process.

In regards to other public services such as public safety, trash collection, etc., it is anticipated that no additional impact will be made by the proposed change in land use.

- F) The proposed amendment is consistent with other adopted plans, codes and ordinances.

The proposed amendment is consistent with other adopted plans, codes and ordinances, as previously described.

- 2) *Analysis of the potential impacts on the existing infrastructure and public services such as traffic, streets, intersections, water and sewer, storm drains, electric power, fire protection, garbage collection, etc.*

- At this time, we anticipate that there will be a slight increase in average daily water demands and sewer generation as high density residential typically uses more water than retail commercial. However, it is anticipated that fire suppression flows and storage will decrease as a result of changing land uses from commercial to residential. We recognize that this is a generalization and detailed projections and calculations will be needed during the engineering process.
- There is no projected increase in fire protection apparatus.
- There is likely to be an increase of garbage collection due to an increase in individual pickups as compared to commercial land use. However, services such as these will be typical of the adjacent land use already existing.
- There is no anticipated impact to City's public storm drain system because storm water will be managed on site before it is discharged to the City's system.
- At this time no comment can be made regarding traffic impacts.
- There is no anticipated impact to other public services such as police enforcement.

3) *Specify the potential use of the property within the area of the proposed amendment.*

The proposed and potential use for this area is: High Density Residential (PC) - 5.1 to 10.0 units/acre, as defined by the City's Comprehensive General Plan, pg. 24.

4) *Explain why the existing general plan designation/general plan language for the area is no longer appropriate or feasible.*

As previously described, the general plan does not account for the construction of the Mountain View Corridor. As this has and will develop, there is less of a demand for commercial land uses at and near this property, and more demand along the Mountain View Corridor. Therefore, a proposal is made to amend the general plan to reduce (not eliminate) the amount of commercial use for this property and increase the amount of residential land use.

Please find the Planning Commission Minutes of December 6, 2016 on the following pages.

Exhibit F Planning Commission Minutes

3. **The Cottages at the Oaks of Jordan Hills Villages; 6841 West 7800 South; General Plan Land Use Amendment for 11.71 acres from Community Commercial to High Density Residential, Preliminary Subdivision Plat (114 lots on 11.71 acres and one 2.89 acre commercial lot), and Preliminary Development Plan; P-C Zone; Urban Chase Property Management/Greg Hughes & Mark Garza (applicant) [#11498, DP11499, SUB11500, 11650; parcels 20-34-100-008, 20-34-100-018]**

Greg Hughes, Urban Chase, applicant, explained that the site plan had been updated since the Design Review Committee meeting and is now in excess of 15% open space in a better layout. He said the original plan for this property was approved in the late 1990's as destination retail. However, the Mountain View Corridor wasn't contemplated at that time. Ron Raddon, the property owner, has tried desperately to attract a grocery store to the property. But the off ramps at the Mountain View Corridor have brought a Smith's Marketplace and that area will continue to grow as a retail center. The subject piece is now more viable as support retail in a smaller size than originally planned. Because there is a moratorium on attached housing, they had to find a product that would fit within the constraints of the property. The proposed product is detached homes for people who are downsizing but still want a single-family home with a smaller yard. The property is surrounded by apartments on two sides and two large arterial roads on the other sides. Once this development occurs they feel that it will help make the support retail more viable. He didn't know if the market in this area would work with half-acre lots. He cited some great examples of this housing style in American Fork and Saratoga Springs. Elevations were shown. He felt they will see more and more of this product, because it has become very popular. He stressed that these are not starter homes, but the prices are in the upper \$200,000's to \$300,000. Approximate square footage is 2200 square feet.

Kelvin Green asked if there are sidewalks on the private lanes. He also pointed out that garages in the P-C Zone have to be set back five feet from the front of the house or covered porch.

Greg Hughes said they have complied with the private lane ordinance. The sidewalks will be along the larger roads, but not on the private lanes. He said they will follow the ordinance regarding garages.

Larry Gardner said there are other styles that were built in Utah County with porches in front of the garage. He is satisfied that there is enough available products to fit or that could be modified to fit.

Kelvin Green said most of the open space appears to be throw away space. He pointed out a 17 ½-foot wide landscape strip and asked what the utility is for the community. He didn't see how it could be an amenity.

Greg Hughes said the attached home moratorium is directing how this is laid out, because they can't cluster the homes for a larger open space area. They feel that the perimeter green space is important as a buffer, but they could move some of the 19 ½% to another area if it is unnecessary.

Kelvin Green said it isn't unnecessary; it is laid out with almost zero utility.

Greg Hughes said they are trying to satisfy the hard numbers in the code with practicality. He pointed out a playground on the west side.

Bill Heiner said there was a comment at the Design Review Committee about the possibility of having rambler style home.

Adam Loser, DR Horton, said they are under contract to purchase the property. They have a team looking at some options. However, with a 34' by 34' footprint it is challenging. There are a couple of lots that might fit one, but the vast majority will be two-story.

Josh Suchoski asked how much space is between homes.

Greg Hughes said 7 1/2 feet on each side for a total of 15 feet. He said the homes are close together, but they are trying to provide a single-family home at a density that makes the project work.

Dan Lawes asked what kind of commercial development they anticipate.

Greg Hughes said they aren't purchasing the commercial piece. Mr. Raddon's hope is to have a convenience store and cafeteria style food places that will support the neighborhood. He understood that cities benefit from sales tax coming from a retail property. The property tax on rooftops isn't what provides revenue. But 100% of nothing is nothing. The property owner has been trying to develop for 16 years without success.

Larry Gardner said the commercial is geared toward small retail that will support the neighborhood rather than destination commercial. He said that a new site plan had been distributed. The product is single-family. It is impossible to develop attached single-family with larger open spaces because of the cap and grade ordinance, so it is acting as an infill development. Gross residential density will be 9.75 units per acre. Although they are small lots the homes are decent sized and the majority of the development is maintained by an HOA. It meets the parking requirement for single-family housing with no guest parking required. Regarding the utility of open space, this plan has been a work in progress and it will continue to work toward making the open space more centralized and usable in nature. Buffering from the road is also good, however. The house types were approved by the Design Review Committee, and the applicant is aware of the requirement to meet the ordinance for elevations in the P-C zone. He explained that the land use map amendment and preliminary development plan applications will be forwarded to the City Council for a final action. The subdivision plat approval is at the discretion of the Planning Commission; however, it can be appealed to the City Council.

Future Land Use Map Amendment

Staff recommended that the Planning Commission forward a positive recommendation to the City Council to amend the Future Land Use map from Community Commercial to High Density Residential for approximately 11.70 acres of property located at 6841 West 7800 South.

Development Plan

Based on the findings and evidence in the staff report, staff recommended that the Planning Commission forward a positive recommendation to the City Council for The Cottages at the Oaks of Jordan Hills Villages Preliminary Development Plan located at approximately 6841 West 7800 South with a residential density of 9.74 units per acre with 114 single family detached lots subject to the following conditions:

1. Update the Final Development Plan to address all existing and future planning, engineering, fire, and all other City redline corrections.
2. Incorporate all requirements from the Development Review Committee and Planning Commission into the Final Development Plan.
3. Before the final plat and development plan are stamped for construction purposes by the West Jordan Engineering Department, all redline comments shall be completely addressed.
4. All homes constructed shall comply with the requirements of the P-C zoning district and all of the requirements listed in the Preliminary Development Plan.

Preliminary Subdivision plat

Based on the findings and evidence in the staff report, staff recommended that the Planning Commission approve The Cottages at the Oaks of Jordan Hills Villages Preliminary Subdivision Plat located at 6841 West 7800 South, subject to the following conditions:

1. Update the Final Subdivision Plat to address all existing and future planning, engineering, fire and all other City redline corrections pertaining to the Subdivision Plat.
2. Incorporate all requirements from the Planning Commission into the Final Subdivision Plat.
3. Before the final plat and development plan are stamped for construction purposes by the West Jordan Engineering Department, all redline comments shall be completely addressed.
4. All homes constructed within the subdivision shall comply with the requirements of the P-C zoning district and all of the requirements listed in the Preliminary Development Plan.
5. An approved, unrecorded final subdivision plat shall remain valid for two (2) years. One 6-month extension may be granted by the zoning administrator if, upon written request by the owner/developer, the zoning administrator finds that the extension will not adversely affect the public health, safety or welfare of the city.

Kelvin Green asked why this vacant property hadn't been reverted back as allowed in the code.

Larry Gardner said this property was part of Jordan Hills Villages development, which expired last year. The City Council has to bring forward a resolution to do that if they desire the change.

Dan Lawes opened the public hearing.

Matthew Smith, West Jordan resident, also representing the Maples neighborhood, spoke against the proposal. He said when the Jordan Hills Villages was first approved there was controversy because it was so far away from other development. This leapfrog development was only approved because of the promised amenities, including a commercial component. He reviewed the applicant's reasons for requesting the change, which he did not think were sufficient.

- "The general plan does not account for the construction of the Mountain View Corridor". Mr. Smith showed a map from 2004 and 2006, which both show the Mountain View Corridor along with the commercial designations. To say proximity of the corridor should reduce this commercial property is like saying we shouldn't develop on Bangerter because it is too close to I-15 (1 ½ miles away).
- "It is not a matter of waiting for rooftops". When according to developers of other properties in the area rooftops do matter.

- "It is too close to the Oquirrh Mountains". Magna and Herriman are similar communities that border the Oquirrh Mountains and have a population comparable to the western third of West Jordan. Both communities have a Walmart neighborhood market that is sandwiched between the Oquirrh's and Smith's. There are also five grocery stores in the Salt Lake Valley closer to the Wasatch Mountains than this is to the Oquirrh's.
- The applicant implies that being close to Smith's makes it not viable. This parcel is 1 ½ miles away from Smith's. The stores in Magna and Herriman previously mentioned are closer than that. The Walmart and Harmon's on 6200 South are close together. Smith's even has two stores on Redwood Road that are only 1 ½ miles apart.
- "This was part of a central village concept that included a high school, and with the high school gone that changes things". He argued that adding an extra 40 acres of houses in place of the high school would solidify the need for more commercial in the area.

He wondered if the property had been shopped around to commercial developers since Smith's had become the fastest Kroger store to ever earn \$1 million. Or if it was with the knowledge that this Smith's is always two to three times more crowded than the Daybreak Smith's and could use the competition. There are also new planned developments in the area that would be attractive to commercial uses. Mr. Smith said when he built his house 13 years ago the map showed an elementary school that has now been removed, a high school that is now replaced with houses, a regional park that is now in question, a large area of preserved native open space that is now being sold by the city for more homes, a mixed use product in the Oquirrh West development that now has no mixed-use and a reduced commercial area. He asked that this area not be reduced because a gas station and strip mall is a lot different than a grocery store and restaurants. He wants the neighborhood to be a nice, walkable community. He then addressed the findings that weren't met:

- B: There are a lot of other places to put high density housing, but not any other major intersection in this neighborhood for commercial.
- C: This is not compatible with the neighborhood. The Serengeti Springs apartments serve as a buffer between lower density residential and commercial. It doesn't make sense to put very high density as a buffer between low density and high density. He said the property to the north was zoned as medium density but was built as high density in a very similar design to the proposal and we don't need more high density in the area.
- D: It is not an improvement over commercial.
- E: There are a lot more houses planned in this area than when the infrastructure was installed.

Further public comment was closed at this point for this item.

Greg Hughes didn't argue with some of the points made, but Mr. Raddon had exhausted every option available to try to successfully develop the property. Mr. Raddon thought that with all the development going on and the decisions being made and where the focus is, is why this property is available for him to purchase and present this plan. He said it wasn't in 2004 and 2006 that the Mountain View Corridor was unknown, but it was in the 1990's. He felt there is a trend and is why after all his efforts to maximize the destination commercial it hasn't been realized.

Judy Hansen was concerned that the only access to the development comes from 7800 South, which is heavily travelled and there will be at least two cars at each home. She was also concerned that the homes are all so similar, which she expressed at the DRC meeting. She also asked for ramblers, which

now isn't possible. Empty nesters don't want stairs, and there is no place to park boats, trailers, etc. that most retired people have. She asked if the rear yard can be fenced, because young families will have small children, and retired people will have pets. She asked the developer to consider if he would live in this development. She didn't think that the playground next to U-111 was a safe location.

Kelvin Green agreed with Commissioner Hansen. He went on to say that it doesn't meet the overall intent of the P-C zone as listed in Section 13-5C-1C, and he read specifically from items 1 through 7, 9 through 11, and 13 of that section. He didn't think this was a planned community, but rather a high density housing complex trying to fit in the planned community zone. The plan doesn't meet the green space limitations, because the code says it should be limited to pedestrian ways, bike paths, equestrian, agricultural uses, garden spots, specific recreational activities, etc. Although we like to see buffers, a 17-foot wide green space can't be used for recreational activities. He agreed with the citizen comments regarding the trade-off for high density to get amenities. And when those amenities are taken away they break the social contract with the neighborhood.

Dan Lawes said we don't have any control over schools and commercial development.

Kelvin Green agreed, but the neighbors were promised certain things in exchange for density, and one thing was a commercial area. Taking that away from a busy corner eliminates the possibility of sales tax.

Larry Gardner explained that the neighbors were never promised this. It was part of the Jordan Hills Villages master plan that the city approved, and now it is expired. He has been meeting with Mr. Raddon every 6 months for the last three years, who has actively tried to market the property.

Scott Langford clarified in terms of cap and grade this property wouldn't qualify for the 70/30 mix of multi-family because it isn't a minimum of 75 acres.

Josh Suchoski said there is a general frustration that this area keeps getting the short end of the stick on amenities. Whether or not they were promised it, the city should provide a good happy and healthy living environment. He didn't mind density as long as it is done properly. This plan looks like someone ran a calculation to see how many homes could fit. He understood that a developer wants to maximize profit, but he didn't think it was necessarily a good, healthy thing for the people who will be living there. The comment that 100% of nothing is nothing is true but it isn't necessarily a good sales pitch for this area. The Commission just met with a group that wants to build high end, large lot homes with amenities not a quarter mile away from this property. He really felt that this property is prime commercial real estate, and he didn't believe they can use the past 8 years as a good record of why the lot hasn't sold. The building market has only started to rebound in the last 1 to 1 1/2 years. He didn't feel that this was a higher and better use for the property and we would be selling ourselves short to approve the plan.

Matt Quinney liked the plan, but he agreed with Commissioner Suchoski that at some point they need to stop adding homes and start taking care of the people who already live here. They recently approved the Oquirrh West development in this area. They should hold on to this property until it can be a commercial area that will take care of the residents.

Dan Lawes asked how long they should wait until deciding it isn't going to work as commercial.

Bill Heiner said it will come when the market will bear.

Josh Suchoski said the latest market boom just started. It has been shown that once one entity comes in and is wildly successful, such as Smith's, it will attract competition, and it has only been a year since Smith's opened. By stopping this now it is shutting down the opportunity for competitors. He didn't think this was the time to make that change.

Kelvin Green said we should make good public policies that take care of existing areas. If West Jordan continues to be an infill city, then we won't have the infrastructure and resources to support it. He pointed out areas in Draper, Sandy, and South Jordan that are seeing good development, which we will never attract if we don't keep some land. He understood what Commissioner Lawes was saying, but this isn't the time. He mentioned how IKEA built their store in Draper and then 17 other furniture stores built around it, so competition occurs when people build and are successful.

Matt Quinney pointed out how long 13400 South stood empty until someone took a chance, and if West Jordan keeps infilling with houses they will miss the opportunity for that same kind of development.

MOTION: Kelvin Green moved based on the findings set forth in the staff report and the evidence and explanations received tonight to forward a negative recommendation to the City Council for The Cottages at the Oaks of Jordan Hills Villages; 6841 West 7800 South; Urban Chase Property management/Greg Hughes & Mark Garza (applicant) to Amend the Future Land Use Map for 11.71 acres from Community Commercial to High Density Residential specifically Findings A, B, C, D, and E have not been met because they are not consistent with the adopted goals. The motion was seconded by Josh Suchoski.

Dan Lawes asked for specifics on how Finding A is not met.

Kelvin Green said they aren't providing for the long-term commercial growth of the city as stated in the general plan.

Dan Lawes read from the staff report that supports the general plan to continue to implement the policy of limiting commercial centers to nodes located at the intersections major arterial streets or in the case of neighborhood commercial centers as a designated location within large planned residential communities.

Josh Suchoski argued that this could be a small node and it is at the juncture of two arterial streets. So an infill of high density residential in this location is inconsistent with the goal where this is a prime location for a potential node.

VOTE: The motion passed 5-2 in favor of a negative recommendation with Dan Lawes and Bill Heiner casting the negative votes.

MOTION: Kelvin Green moved based on the findings set forth in the staff report and upon the evidence received today to forward a negative recommendation to the City

Council for the Preliminary Development Plan for The Cottages at the Oaks of Jordan Hills Villages; 6841 West 7800 South; Urban Chase Property management/Greg Hughes & Mark Garza (applicant). The motion was seconded by Josh Suchoski.

It was pointed out that there are no specific criteria associated with a development plan approval, however, they could provide some reasoning.

AMENDED

MOTION: Kelvin Green moved to amend the motion to include that the development plan does not meet the overall intent of the P-C zone. The amendment was accepted by Josh Suchoski and the amended motion passed 5-2 in favor of a negative recommendation with Dan Lawes and Bill Heiner casting the negative votes.

MOTION: Kelvin Green moved based on the findings set forth and the design shown and upon the evidence and explanations received today to deny the Preliminary Subdivision Plat for The Cottages at the Oaks of Jordan Hills Villages; 6841 West 7800 South; Urban Chase Property management/Greg Hughes & Mark Garza (applicant) Finding that Criteria 1 has not been met because it doesn't conform and is not consistent with the adopted goals, objectives, and policies set forth in the City's General Plan; Criteria 4, it does not comply with the provisions of the subdivision ordinance, the zoning ordinance, or other development standards of the city specifically the P-C zone. The motion was seconded by Josh Suchoski.

Larry Gardner said there is a commercial node being provided.

Kelvin Green said it is the size of the commercial node.

VOTE: The motion passed 5-2 in favor of denial with Dan Lawes and Bill Heiner casting the negative votes.

4. Gladstone Place; 7800 South Mountain View Corridor; Preliminary Site Plan (347 units on 26.2 acres), Preliminary Subdivision Plat, Preliminary Development Plan establishing density of 14.35 dwelling units per acre; HFR Zone; Garbett Land Investments, LC/Richard Welch (applicant) [#SPCO20150011, SDMA20150007, DP20150003; parcels 20-35-100-017, 030; 200-023, 046]

Richard Welch, representing Garbett Homes and Peterson Development, stated that this village had been before them previously to annex a piece of surplus UDOT property into the Highlands master plan. He reviewed the location of their other projects in the Highlands. The Design Review Committee gave a positive recommendation about a year ago and after that there was an access issue that had to be worked out, which took about a year. A series of conditions in the staff report addresses that issue. The subdivision plat will separate this property from a larger piece of land and adds the surplus UDOT piece. He addressed the density buy-up allowed in the WSPA zone. They feel this is a beautifully designed project. One unique benefit to the Gladstone community as well as the entire City is piping the deep wash. The HFR zone allows for a density of 9 up to 18 units per acre. He calculated the

Please find the Ordinances on the following pages.

Ordinances

Exhibit G

THE CITY OF WEST JORDAN, UTAH

A Municipal Corporation

ORDINANCE NO. 16-53

AN ORDINANCE AMENDING THE GENERAL PLAN FUTURE LAND USE MAP FOR 11.7 ACRES OF LAND FROM COMMUNITY COMMERCIAL TO HIGH DENSITY RESIDENTIAL FOR PROPERTY LOCATED AT APPROXIMATELY 6481 WEST 7800 SOUTH.

WHEREAS, an application was made by Urban Chase Property Management to amend the General Plan Future Land Use Map for 11.70 acres of property located at approximately 6481 West 7800 South from Community Commercial to High Density Residential;

WHEREAS, on December 6, 2016 the Future Land Use Map amendment request was considered by the Planning Commission, which has made a negative recommendation to the City Council concerning the Future Land Use Map amendment from Community Commercial to High Density Residential for property located at approximately 6481 West 7800 South;

WHEREAS, a public hearing, pursuant to public notice, was held before the City Council on December 21, 2016; and,

WHEREAS, the City Council of the City of West Jordan finds the following with respect to an amendment of the Future Land Use Map:

1. The proposed amendment conforms to and is consistent with the adopted goals, objectives, and policies set forth in the City's General Plan;
2. The development pattern contained on the land use plan inadequately provides the appropriate optional sites for the use and/or change proposed in the amendment;
3. The proposed amendment will be compatible with other land uses, existing or planned, in the vicinity;
4. The proposed amendment constitutes an overall improvement to the adopted general land use map and is not solely for the good or benefit of a particular person or entity;
5. The proposed amendment will not adversely impact the neighborhood and community as a whole by significantly altering acceptable land use patterns and requiring larger and more expensive public infrastructure improvements, including, but not limited to, roads, water, wastewater and public safety facilities, than would otherwise be needed without the proposed change; and,
6. The proposed amendment is consistent with other adopted plans, codes and ordinances.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF WEST JORDAN, UTAH:

Section 1. The Future Land Use Map of the City of West Jordan, Utah, is hereby amended by changing the future land use designation for 11.70 acres of property from Community

Commercial to High Density Residential, located approximately at 6481 West 7800 South, more appropriately described below:

BEGINNING AT A POINT ON THE SOUTH RIGHT OF WAY LINE OF 7800 SOUTH. SAID POINT BEING SOUTH 0°46'52" EAST 63.00 FEET FROM THE NORTH QUARTER CORNER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89° 53'28" EAST 287.03 FEET TO THE NORTHWEST CORNER OF THE SERENGETI SPRINGS APARTMENTS PHASE 1 BOUNDARY AS RECORDED IN ENTRY NO. 10569178 AND BOOK 9661 AT PAGE 5192 OF THE SALT LAKE COUNTY RECORDER'S OFFICE; THENCE SOUTH 00°35'55" EAST 530.24 FEET ALONG SAID PHASE 1 BOUNDARY LINE; THENCE NORTH 89°59'26" WEST 211.31 FEET TO A POINT ON THE SERENGETI SPRINGS APARTMENTS PHASE 2 BOUNDARY AS RECORDED IN ENTRY NO. 11037433 AND BOOK 9861 AT PAGE 2222; AND RUNNING THENCE ALONG SAID PHASE 2 BOUNDARY THE FOLLOWING (2) TWO COURSES: (1) SOUTH 00°00'34" WEST 165.00 FEET; (2) NORTH 89°59'26" WEST 806.13 FEET TO THE EASTERLY RIGHT OF WAY LINE OF U-111; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE NORTH 08°02'35" EAST 446.77 FEET; THENCE NORTH 89°51'55" EAST 521.52 FEET; THENCE NORTH 00°00'00" WEST 250.57 FEET TO THE SOUTH RIGHT OF WAY LINE OF 7800 SOUTH; THENCE NORTH 89°51'55" EAST 140.87 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING. CONTAINS 509,683 SQUARE FEET OR 11.70 ACRES.

Section 2. This Ordinance shall become effective upon publication or upon the expiration of twenty days following passage, whichever is earlier.

Passed by the City Council of West Jordan, Utah, this 21st day of December, 2016.

ATTEST: CITY OF WEST JORDAN

Melanie Briggs
City Recorder

Kim V. Rolfe
Mayor – City of West Jordan

Voting by the City Council	"AYE"	"NAY"
Jeff Haaga	_____	_____
Dirk Burton	_____	_____
Chris McConnehey	_____	_____
Chad Nichols	_____	_____
Zach Jacob	_____	_____
Alan Anderson	_____	_____
Mayor Kim V. Rolfe	_____	_____

CITY CLERK/RECORDER'S CERTIFICATE OF PUBLICATION

I, Melanie S. Briggs, certify that I am the City Clerk/Recorder of the City of West Jordan, Utah, and that the foregoing ordinance was published in the Legal Section, of the Salt Lake Tribune, on the _____ day of _____, 2016, pursuant to Utah Code Annotated, 10-3-711.

MELANIE S. BRIGGS, MMC
City Clerk/Recorder

[SEAL]

THE CITY OF WEST JORDAN, UTAH

A Municipal Corporation

ORDINANCE NO. 16-55

AN ORDINANCE APPROVING THE PRELIMINARY DEVELOPMENT PLAN FOR THE COTTAGES AT THE OAKS AT JORDAN HILLS VILLAGES WITH A RESIDENTIAL DENSITY OF 9.74 UNITS PER ACRE RESULTING IN 114 SINGLE-FAMILY RESIDENTIAL LOTS ON PROPERTY LOCATED APPROXIMATELY AT 6481 WEST 7800 SOUTH AND ZONED PLANNED COMMUNITY (PC).

WHEREAS, an application was made by Urban Chase Property Management -Greg Hughes/Mark Garza for Preliminary Development Plan to allow for 114 single-family residential lots on 11.70 acres on property located approximately at 6481 West 7800 South.

WHEREAS, on December 6, 2016, The Cottages At The Oaks At Jordan Hills Villages Preliminary Development Plan was reviewed by the Planning Commission, which has forwarded negative recommendation to the City Council to deny The Cottages At The Oaks At Jordan Hills Villages Preliminary Development Plan with a residential density of 9.74 units per acre, which will allow for 114 single-family residential lots on 11.70 acres of property; and,

WHEREAS, a public hearing, pursuant to public notice, was held before the City Council on December 21, 2016.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF WEST JORDAN, UTAH:

Section 1. Approve the Sub Area Preliminary Development Plan for The Cottages At The Oaks At Jordan Hills Villages with a residential density of 9.75 units per acre containing 114 single-family residential lots on 11.70 acres of property generally located at 6481 West 7800 South (parcel 20-34-100-008, 20-34,100,018).

The described property shall hereafter be subjected to the Planned Community (PC) land-use restrictions, The Cottages At The Oaks At Jordan Hills Villages Preliminary Development Plan and all other City Ordinances, Standards and Policies currently enacted and in association with the presented and accepted The Cottages At The Oaks At Jordan Hills Villages Preliminary Development Plan.

Section 2. This Ordinance shall become effective upon publication or upon the expiration of twenty days following passage, whichever is earlier.

Passed by the City Council of West Jordan, Utah, this 21st day of December 2016.

CITY OF WEST JORDAN

Kim V. Rolfe
Mayor

Voting by the City Council	"AYE"	"NAY"
Councilmember Haaga	_____	_____
Councilmember Rice	_____	_____
Councilmember Nichols	_____	_____
Councilmember Jacob	_____	_____
Councilmember Burton	_____	_____
Councilmember McConnehey	_____	_____
Mayor Kim V. Rolfe	_____	_____

CITY CLERK/RECORDER'S CERTIFICATE OF PUBLICATION

I, Melanie S. Briggs, certify that I am the City Clerk/Recorder of the City of West Jordan, Utah, and that the foregoing ordinance was published in the Legal Section, of the Salt Lake Tribune, and on the City's website: www.wjordan.com on the _____ day of _____, 2016, pursuant to Utah Code Annotated, 10-3-711.

MELANIE S. BRIGGS, MMC
City Clerk/Recorder

[SEAL]

Please find the Preliminary Development Plan on the following pages.

Exhibit H Preliminary Development Plan

Preliminary & Final Development Plan

Submittal Date 12-6-16

Cottage View Commercial

Center

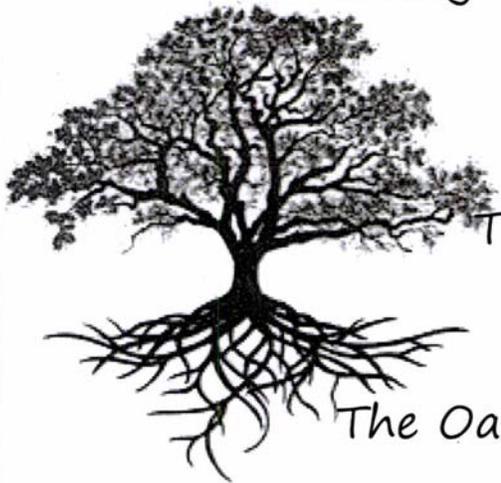
&

The Cottages

@

The Oaks at Jordan Hills

Villages



URBAN CHASE PROPERTY MANAGEMENT, INC.

2016

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INTRODUCTION

The property is located within Jordan Hills Villages Planned Community. The Fourteen point Fifty-Nine (14.59) acre parcel is boarded by U111 to the West, 7800 South to the North and the Serengeti Springs Apartments to the East and South. The parcel was originally master planned for a Neighborhood Commercial Center and some additional apartments. With the construction of Mountain View Corridor and the building of the Smiths Market Place the viability of this commercial center no longer exist. It is not a matter of waiting for roof tops, it comes down to geography. With the Oquirrh Mountains boarding the West and the Smiths Market Place to the East, a "big box commercial" users will never be justified. Therefore, a new plan must be considered. This plan will amend and further clarify the existing Jordan Hills Villages plan. The new plan will consist of 2.89 acres of Commercial and 11.70 acres of residential. The residential portion will consist of 114 Single Family lots.



Based upon plans proposed, preliminary and final plats/site plans and construction plans will be prepared and submitted to the City for review and approval.

SCOPE

This Development Plan will serve as the guide for the preparation of the subdivision plats, site plans and all construction documents related to the Commercial property as well as the Single Family Residential lots.

AUTHORITY

The authority for the Development Plan is included both as part of Planned Development Zone of the 2009 City Code Section 13-5-C and the adopted Development Agreement of the Jordan Hills Village Preliminary Development Plan - City Ordinance 00-16.

THEME

The Theme will be utilized in the design of the Commercial center as well as the homes, the entry monument, fencing, and street lighting.

The purpose of the theme is to create:

First, the continuity of design of the residential homes and buildings.

Second, the sense of arrival is created through the entry monument and by street treatments.

Third, a sense of place is fostered by home ownership and the pride that comes with living within close proximity to trails, parks, churches and schools.

Forth, the concept of sense of community is created by the projects overall design. With attractive consistent architecture creating a classic neighborhood and pleasing streetscape all within walking distance of a well-landscaped series of pedestrian-oriented connected streets.

ENTRY MONUMENT

The Single Family entrance to the Cottages @ Jordan Hills Villages is the first and last impression that residents and visitors get of the neighborhood. Therefore the Cottages entry monument creates a sense of arrival and identity. Near the entrance to the neighborhood is a masonry sign including the name of the project. The entrance into the neighborhood is a reflection of our standards and defines the community with a prestigious looking entry monument. Figure 2 illustrates the proposed design of the neighborhood entry.

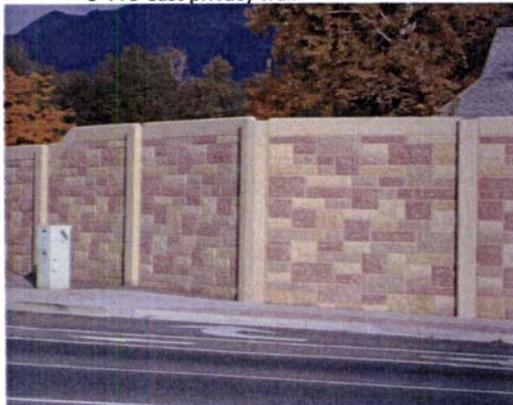


Figure 2

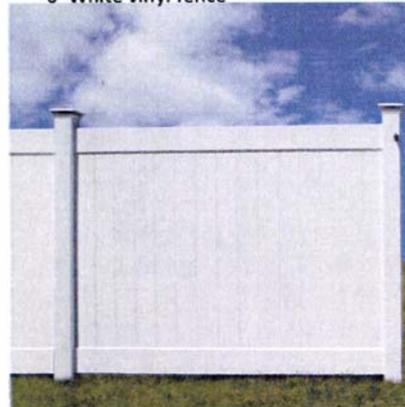
FENCING

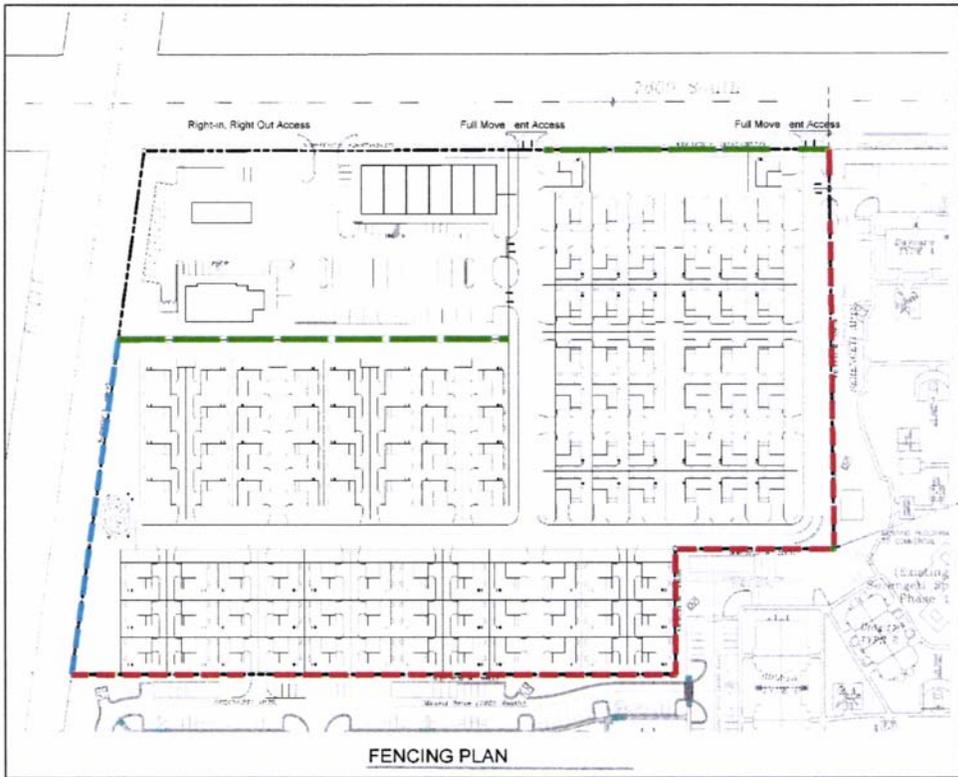
Perimeter Fencing will consist as follows. An 8-foot tall, privacy fence wall similar to the walls already in place along U111 will be installed on the west sides of the single family lots. A privacy fence wall presently exists on the south and east sides of the property (adjacent to Serengeti Apartments) and will remain in place. Fencing along 7800 south shall be a 6' white vinyl with ledgestone pilasters constructed every 20 feet. Interior fencing will consist of white privacy or semi-privacy fencing.

8' Pre-Cast privacy wall



6' White vinyl fence






 8' PRECAST
 CONCRETE FENCE


 6' VINYL FENCE


 EXISTING PRIVACY
 FENCE WALL TO REMAIN


 EXISTING PRIVACY
 FENCE WALL TO REMAIN

LIGHTING

All street lights installed shall be the LED variety and shall conform to West Jordan City Standards for residential streets. All street lights located along public streets will be maintained by West Jordan City.

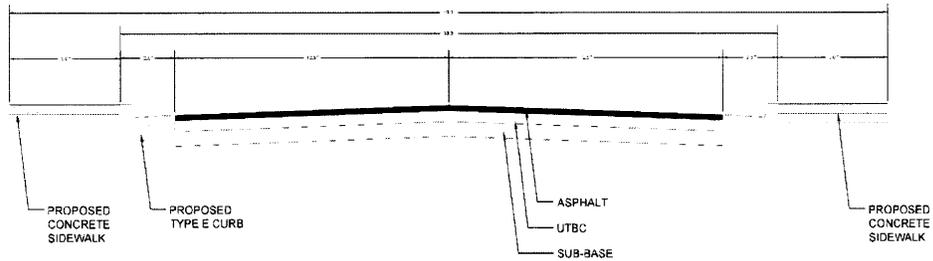


★ STREET LIGHT



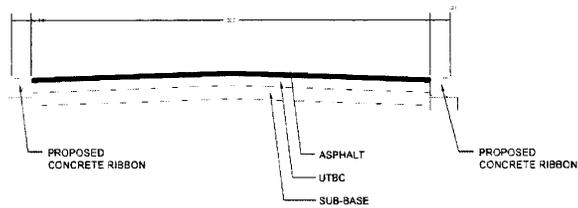
LOCAL STREETS

Local streets are found within the residential neighborhood. These consist of private streets and driveways. The private streets will be constructed to West Jordan City Private Street standards and will be maintained by the Home Owners Association (Figure 7).

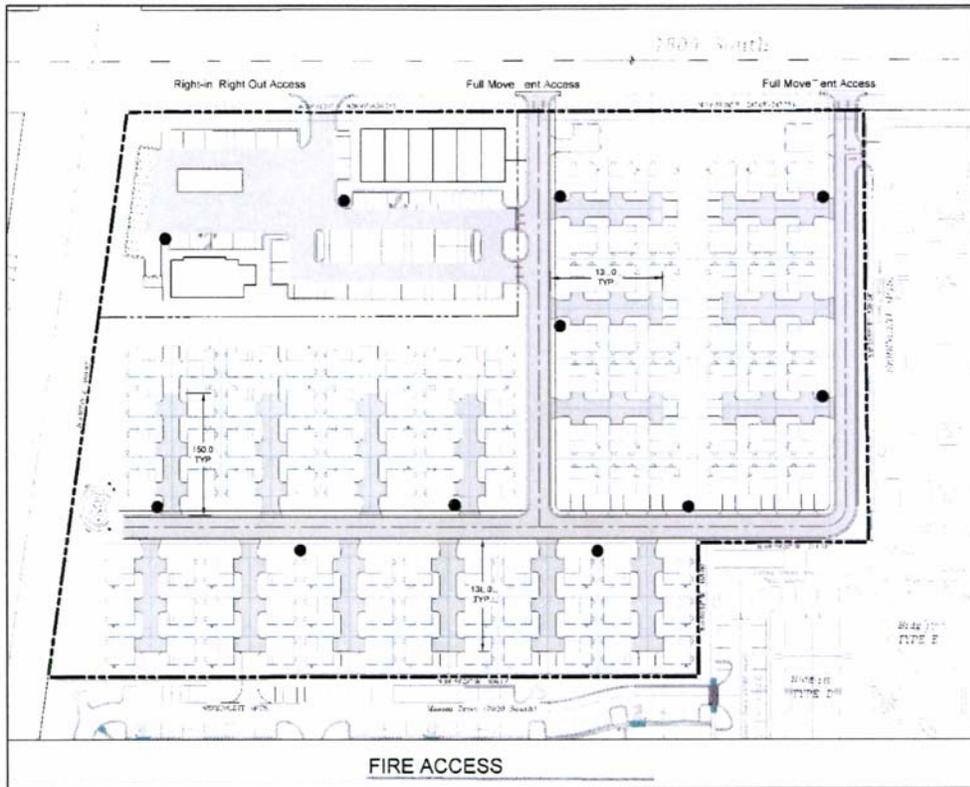


PRIVATE ROAD SECTION

SIDEWALK AND PARK STRIP CONFIGURATION
VARIES SEE SITE PLAN



PRIVATE ALLEY WAY SECTION



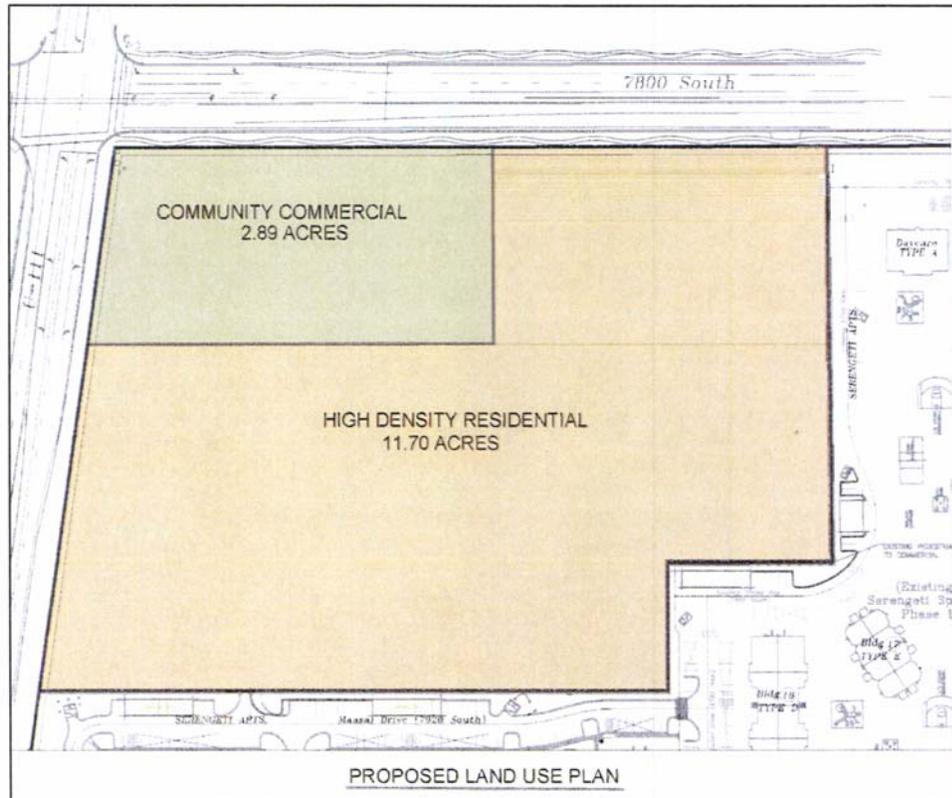
FIRE ACCESS

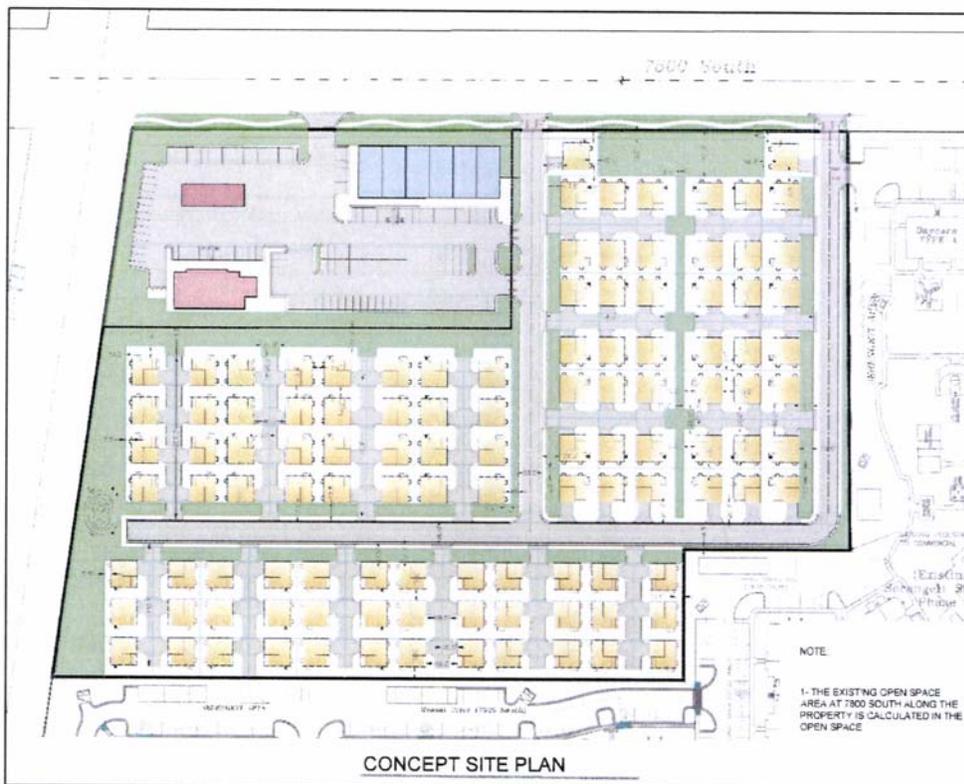
- 1- FIRE ACCESS LENGTH FROM FACE OF THE CURB TO THE END OF THE DRIVEWAY WITH 6 TOWN HOUSES IS LESS THAN 150 FEET.
- 2- ALL THE BUILDING CORNERS ARE IN LESS THAN 400 FT FROM FIRE HYDRANTS.
- 3- ALL THE BUILDING CORNERS ARE IN LESS THAN 150 FT FROM END OF FIRE LANE.

● FIRE HYDRANT

SITE PLAN

The Site Plan illustrates the project fully developed. Consisting of 2.89 acres of Neighborhood Commercial which may include 17,647 square feet of Retail Space and 4,736 Square Feet of Convenient Store. The remaining 11.70 acres will be utilized as Single Family Detached Dwellings that make up 114 lots. All common areas will be maintained by a Home Owners Association. The HOA will also be responsible for the landscaping along 7800 South and the Entry monument. Figure 9 depicts the anticipated phasing plan. This plan may change based on final engineering. Table 1 is a statistical summary of the land uses and dwelling unit distribution.





COMMERCIAL AREA AREA ACRE	2.8	RESIDENTIAL AREA (ACRE)	11.71	TOTAL PROPERTY AREA ACRE	14.60
RETAIL STORES SF	11700	No. of LOTS:	114	TOTAL OPEN SPACE AREA ACRE	3.24
REQUIRED PARKING	5	DENSITY (DU/Ac):	74	PERCENTAGE OF THE OPEN SPACE	22.1
PROVIDED PARKING	106				
CONVENIENT STORE SF	4736	OPEN SPACE ACRE	2.33		
REQUIRED PARKING	24	PERCENTAGE OF THE OPEN SPACE	100		
PROVIDED PARKING	47				
OPEN SPACE ACRE	0.7				
PERCENTAGE OF THE OPEN SPACE	27.34				

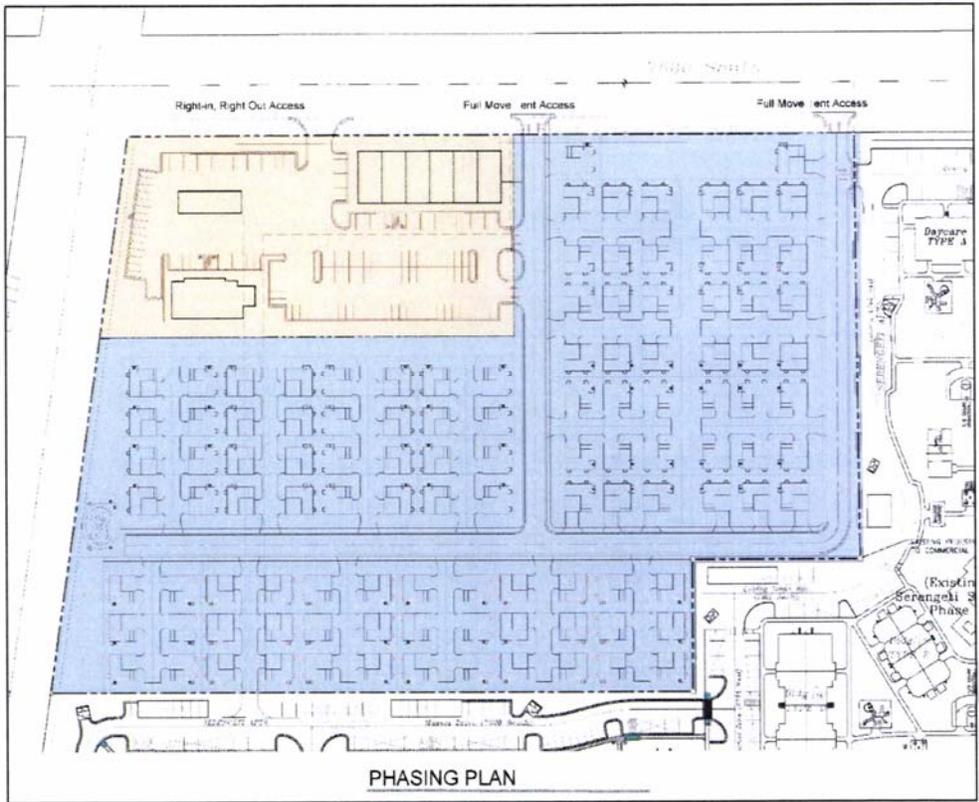


Figure 9

Table 1

Phase	Single Family	Commerical (SF)
P1	114	
P2		22,383
Total	114	22,383



THE PROJECT

The property is comprised of Neighbored Commercial and Single-Family detached housing. The following is a brief description of each product type.

a. Neighborhood Commercial

The intent of this district is to provide for small scale retail and service developments which serve the convenience needs of the surrounding area. The area is in the midst of an existing residential community which can be enhanced by attractive stores and businesses that provide the frequently used services of a residential neighborhood, but which do not conflict with the atmosphere of the surrounding residential area.



b. Single Family Detached



It is anticipated that the single family residential neighborhood will create housing principally for families ranging from first time home buyers to mature families wanting to down size.

The following setbacks in Table 2 shall apply to all construction in the single family development. All front yard and corner lot side yards are measured from back of sidewalk.

Corner lots for the detached product requires facades of equal importance to each street. Building elevations visible from public areas should incorporate the same massing, proportions, plane variations and architectural features as being provide on the front elevation.

HOME OWNERS ASSOCIATION

The Cottages @ Jordan Hills Villages will be maintained by a home owners association. The HOA will maintain a standard of appearance for the property. The HOA management will provide services for landscaping, snow removal, garbage collection and maintenance of all private roads, driveways, and drive aisle. Figure 7 shows the areas of the project that will maintained by the HOA.



Figure 7

HOA RESPONSIBILITY AREA
INCLUDES PRIVATE ROAD
DRIVEWAY, TOT LOT
PARKING STALLS, TRASH, FENCE
AND OPEN SPACE

DESIGN GUIDELINES

These Design Guidelines are intended to foster and promote good design that complements the project goals.

Definition of the Architectural Style

Architectural styles are intended to promote a sense of design continuity throughout a community or neighborhood. Through the use of architectural types, elements and materials, an architectural style visually ties together the community or neighborhood. However, the architectural style is not intended to foster sameness. Neighborhood businesses should be located near and oriented towards streets and sidewalks. Buildings should encourage and accommodate window shopping, heavy foot traffic in and out of stores, and people-watching from outdoor seating areas. Design and materials that reflect the character of the area and nearby structures improve compatibility and integration of new buildings into established communities.

Organization of the Architectural Guidelines and Criteria

It is the expressed purpose of these guidelines to promote a sense of design continuity between different elements of the community, entry monuments, landscaping, fencing, neighborhood commercial and single family detached homes, while at the same time encouraging individuality particularly in the design of single family detached homes.

Architectural Guidelines

Neighborhood Commercial Design Guidelines

**Stores shown on renderings are examples and shall not be considered as preferred or likely tenants.*



Site Planning Features

- Shared access to adjoining streets shall be used to minimize points of ingress and egress.
- Areas between parking areas and adjoining streets shall be landscaped with a combination of trees, shrubs, groundcovers and/or turf.

Architectural Features.

- Eaves and overhangs shall be large enough to create noticeable shadows.
- Windows shall not comprise the entire front of the building. Wainscoting or columns shall be used to break up large areas of glass.
- Lighting, in building lighting of freestanding fixtures shall be provided to illuminate all building entrances, pedestrian areas, parking areas and driveways. Lighting shall be a low profile design, shielded adequately to keep light from projecting onto adjoining residential properties.
- Both freestanding and building signs should be architecturally integrated with the building design by using the same materials, colors and design theme. All signs shall be constructed consistent with the City of West Jordan Development Code and Zoning Ordinance Sign Regulations.



Architectural Materials and Color:

- Predominant exterior building materials shall be high quality materials including, but not limited to, brick, sandstone, and tinted/textured concrete masonry units.
- A consistent roof design, color and material shall be used on all buildings.

Landscaping

- All open non-paved areas shall be landscaped with a combination of trees, shrubs, groundcovers and turf.
- The parking area shall be landscaped using a combination of one or more of the following features:
 - Islands
 - Fingers or Peninsulas
 - Planter areas at the ends of parking rows
 - Planter areas separating parking areas within front, side and rear yard property lines.
- Bermed landscaping or shrubs shall be provided between parking areas and roadways to partially screen parking areas from public view.

Single Family Detached Design Guidelines



Architectural Material and Color:

- The architectural standards presented in this document are meant to govern the selection of building material and color scheme.
- Wall material may include stucco, board & batten siding, shake shingle siding (vinyl siding is prohibited), cultured stone and / or brick siding.
- Materials used on the front elevations must wrap the corner of the house with a minimum 2-foot return on lots interior to the block.
- Materials used on the front elevation must wrap the corner of the house and extend across the entire secondary frontage on corner lots.
- Architectural asphalt shingle roofing.

- Aluminum soffit and fascia when applicable to the style.
- Vinyl windows.

Garages

- Two car-enclosed garages are required.
- Sectional garage door design shall complement the architectural style of the house.
- For three car garages, the front of the third garage space shall be on a different plane of the main garage entrance with a minimum 2 foot recess differential.
- In no instance shall a garage extend more than six (6) feet beyond the front façade or covered porch.

Front Yard Landscaping

- Front yard landscaping and corner lot side yard and irrigation shall be installed by homebuilder.
- Each lot shall have a minimum of two street trees; corner lots shall have an additional two trees.





TYPICAL LOTS AND SETBACKS

- Front Yard** 20' from property line
- Side Yard** 0' Zero Lot line allowed on one side
15' from property line from adjacent home
- Rear Yard** 7.5' from Property line

Building Heights 35'
2 parking garage per unit

Product Elevations





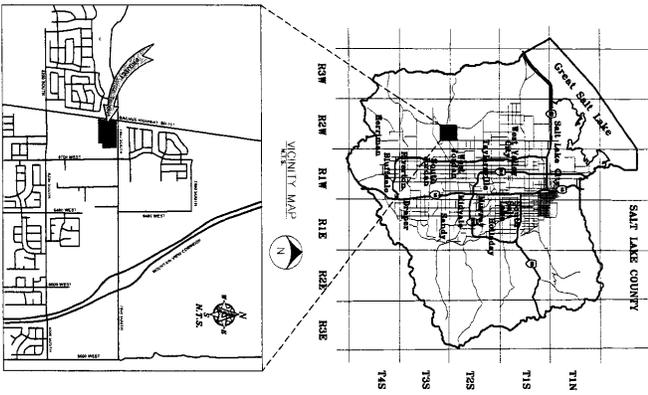






CARRIAGES AT JORDAN HILLS VILLAGES AMENDING AND RESUBDIVING LOT 1 OF THE OAKS AT JORDAN HILLS VILLAGES PHASE 1

LOCATED IN THE NORTH HALF OF SECTION 34,
TOWNSHIP 2 SOUTH, RANGE 13 EAST, MERIDIAN 10 WEST,
SALT LAKE COUNTY, UTAH.



APPROVED DATE	APPROVED BY	APPROVED DATE	APPROVED BY	APPROVED DATE	APPROVED BY
_____	_____	_____	_____	_____	_____
COMMISSIONER	COMMISSIONER	COMMISSIONER	COMMISSIONER	COMMISSIONER	COMMISSIONER

ACKNOWLEDGMENT

I, the undersigned, being the owner of the above described property, do hereby certify that the foregoing is a true and correct copy of the original plat as recorded in the office of the County Clerk of Salt Lake County, Utah, and that the same is a true and correct copy of the original plat as recorded in the office of the County Clerk of Salt Lake County, Utah, and that the same is a true and correct copy of the original plat as recorded in the office of the County Clerk of Salt Lake County, Utah.

DATE: _____

BY: _____

OWNER'S DECLARATION

I, the undersigned, being the owner of the above described property, do hereby certify that the foregoing is a true and correct copy of the original plat as recorded in the office of the County Clerk of Salt Lake County, Utah, and that the same is a true and correct copy of the original plat as recorded in the office of the County Clerk of Salt Lake County, Utah, and that the same is a true and correct copy of the original plat as recorded in the office of the County Clerk of Salt Lake County, Utah.

DATE: _____

BY: _____

NOTES

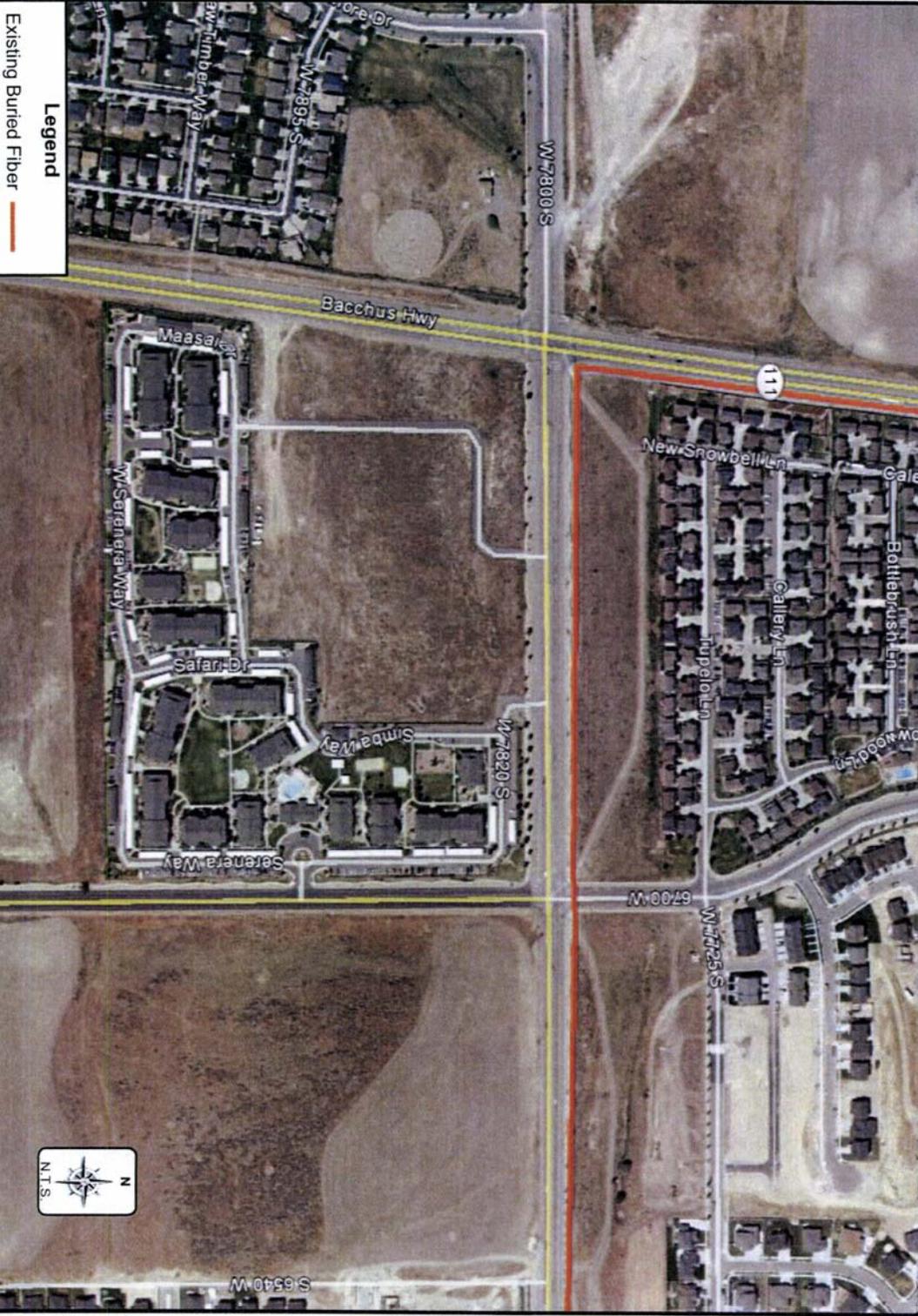
- The plat is subject to all existing laws, ordinances, rules and regulations of the State of Utah and the County of Salt Lake County, Utah.
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- Utilities**
- ▲ Odewater Separator
 - Discharge Point
 - Storm Inlets
 - Manhole
 - Round
 - Storm Open Drains
- Detention Basin**
- ▨ Our Agency
 - ▨ Private
- Storm Main**
- Main
 - Storm Main
 - Swales
 - Culverts
- City Boundary**
- City Boundary

WEST JORDAN





Legend

Existing Buried Fiber —

	ROUTE S.A.L. Starbuck	DESCRIPTION	DRAWN BY Doug	REVISED 10/11/16	VERSION 1	PAGE 1
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 40.60618/-112.05839 : 40.60618/-112.05485 : 40.60618/-112.05131

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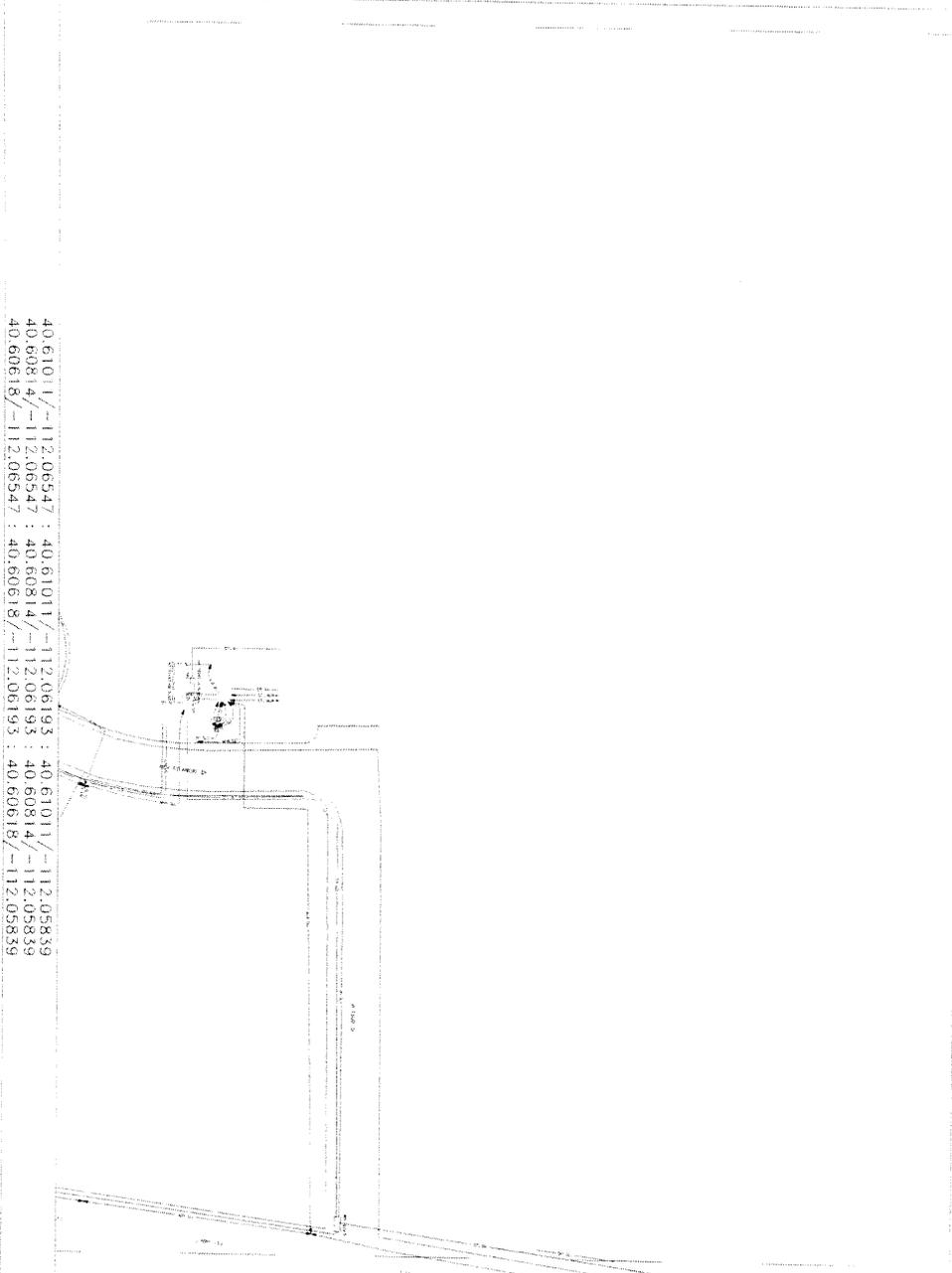
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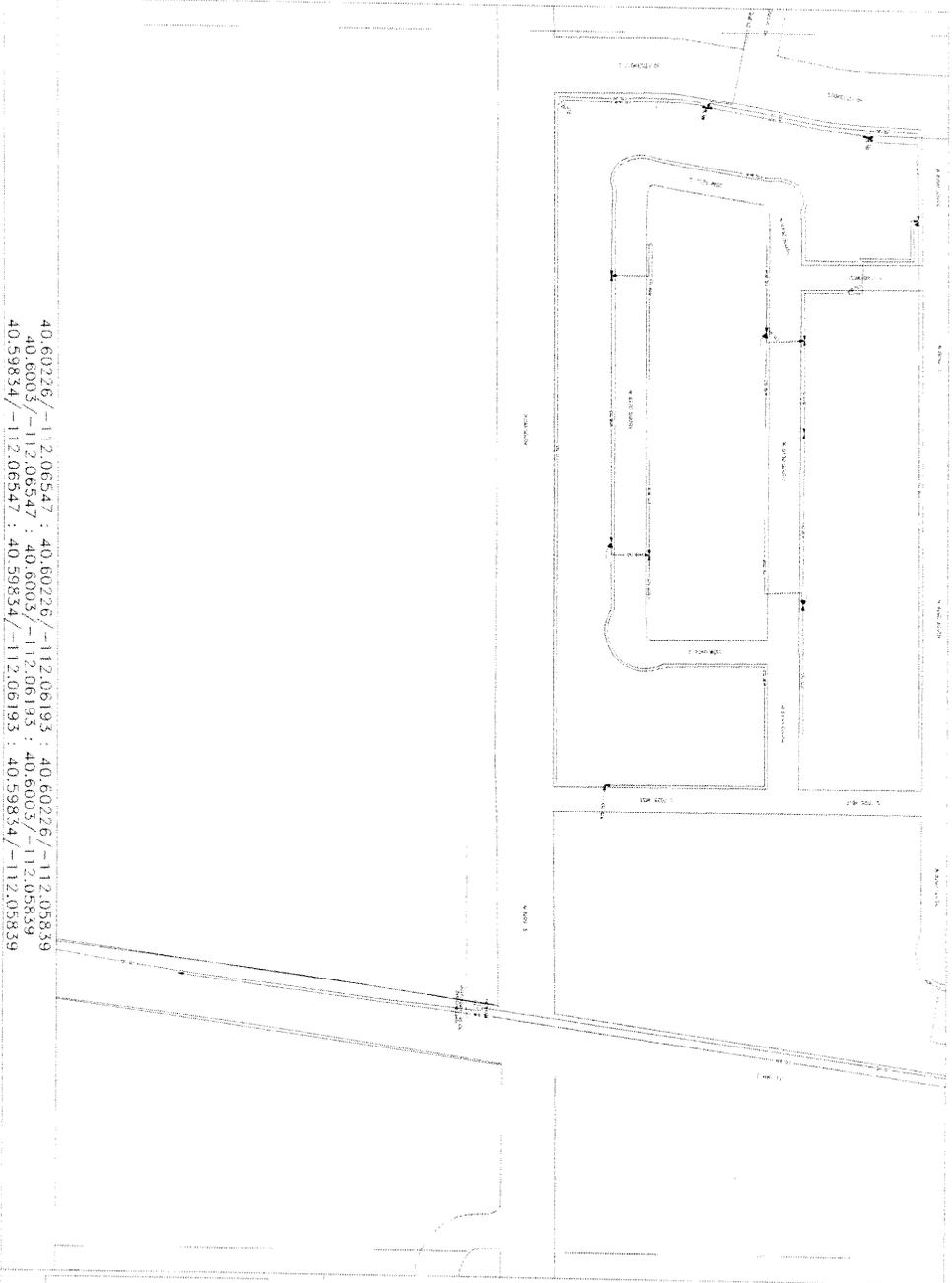


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